

24/00079/FUL

Land To Rear Of 1-6 Smedley Crooke Place Redditch
Road Hopwood Worcestershire

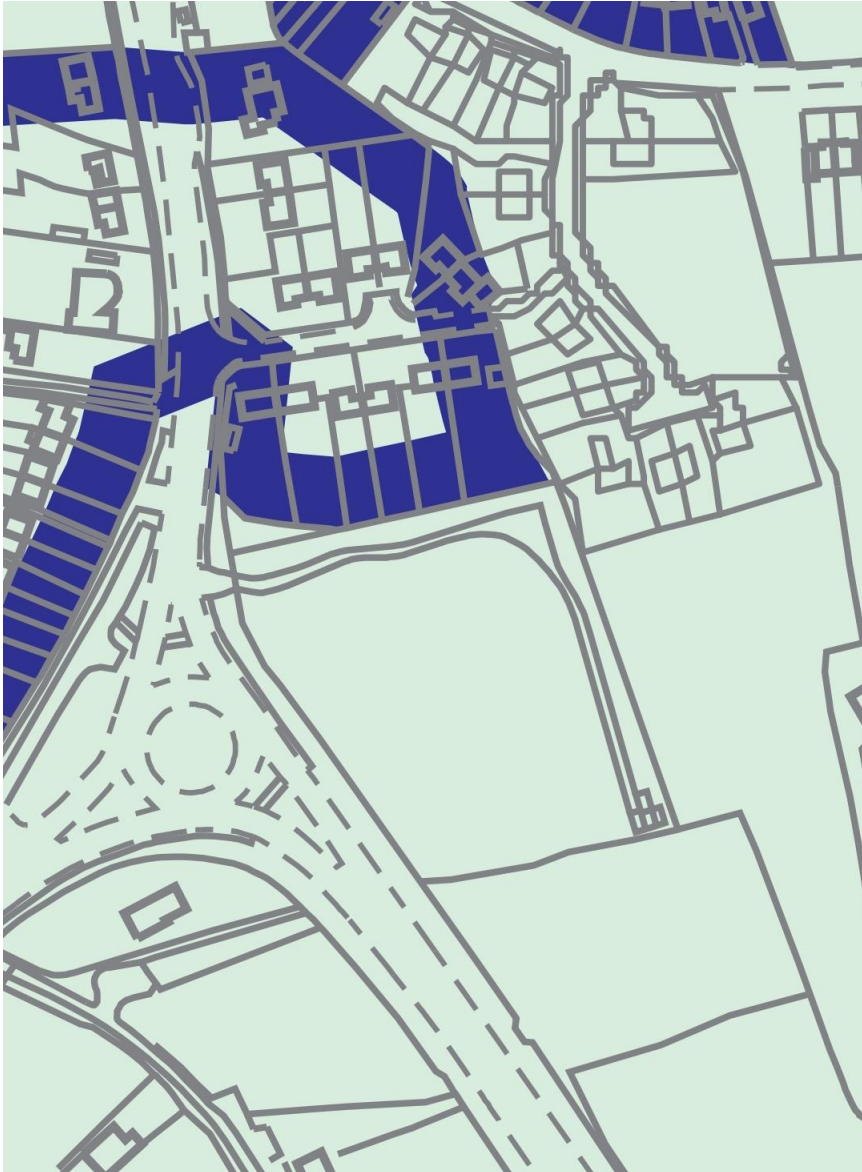
Development of 34 affordable dwellings, associated landscaping, siteworks and construction of new access from existing highway roundabout.

Recommendation: Delegate to Head of Service to
GRANT planning permission subject to a legal
agreement and conditions

Site Location Plan



District Plan Map



-  Village Envelopes BDP4
-  Green Belt BDP4

Satellite View



View of site from Birmingham Road



Existing Access



View of existing cross over at roundabout



View of site



Approx. Location of New Access

Proposed Layout



Site address	Heddon Road, Heddon		
Client	Camden Capital / Heddon / 100		
Site area			
Area	20		
Density/ha			
Density/ha			
Density/ha			
Unit breakdown	100%		
Percentage	100%		
Total	1 type	1 form	1 type
10	Single house	semi detached	Plot 1
1	Single house	semi detached	Plot 1
8	Single house	semi detached	Plot 2
3	Single house	semi detached	Plot 3
2	Single GP flat	Massacre	Plot 4
2	Single GP flat	Massacre	Plot 5
Notes			






Scale 1:1000
Scale 1:1000

Not for scale from this drawing.
See dimensions only, all dimensions
to be reported to the architect.



Proposed Mix of Dwellings



	House Type	No.
	3b5p house (Ra_1)	16
	3b5p house (Ra_1.1)	1
	2b4p house (Ra_2)	9
	2b4p house (Ra_2.1)	4
	1b2p Maisonettes	4
	Total	34

scale 1:2000
scale 1:500

NOT TO SCALE
ALL DIMENSIONS
ARE IN METERS
UNLESS OTHERWISE
STATED



Materials Plan



Materials Plan



gf Cheshire red multi brick
1f white render



Cheshire red multi brick
[Worcester red multi brick detailing]



Worcester red multi brick
[Cheshire red multi brick detailing]

scale 1:250
scale 1:1

© 2011 R
This drawing may only be used for the



Proposed Landscaping



Existing Trees and Hedge to be Retained

Trees to be retained and protected in line with BS5837:2012.

Existing Trees and Hedges to be Removed

Proposed Native Trees

Trees to be planted as 14-16cm girth, Semi-mature, 3.5-4m high. Trees to be planted with a double timber stake secured with a rubber tree tie.

Proposed Ornamental Trees

Trees to be planted as 14-16cm girth, Extra Heavy Standard, 3.5-4m high. Trees to be staked and secured with suitable rubber ties.

Proposed Small Trees

Trees to be planted as 10-12cm girth or 50L containers, 2-3m high and secured with single stake and suitable rubber ties.

Proposed Hedgerows

Evergreen hedgerows to be planted in 10L containers at a rate of 3-4 per lin. metre.

Proposed Native Hedgerows

Native hedge mix, planted at 100-120cm, bare root stock, in a double staggered row at 300mm centres, planted 3 per lin.m.

Proposed Shrub Planting

Ornamental shrub planting, to be planted in 3-4L containers at 3-4 p/m², and enhanced by feature specimens in 10-20L pots.

Proposed Native Shrub Mix

To be planted as bare root stock, 60-80cm, planted at 2/m².

Proposed Amenity Grass

Front gardens to be turfed.
Back gardens to client specification.

Proposed Wildflower Meadow

To be Emorsgate EM2 Standard General Purpose Meadow Mix, supplied by Emorsgate or similar approved. Including 80% of ornamental grasses and 20% of wildflowers. Sowing rate 4g/m².

Proposed Attenuation Basin Planted with Meadow Grass Mixture for Wet Soils

EM8F - Meadow Mixture for Wetlands as supplied by Emorsgate or similar approved. Including 80% of ornamental grasses and 20% of flowering perennials. Sowing rate 4g/m².

Proposed House Types

3b5p house (Ra_1)



Front Elevation



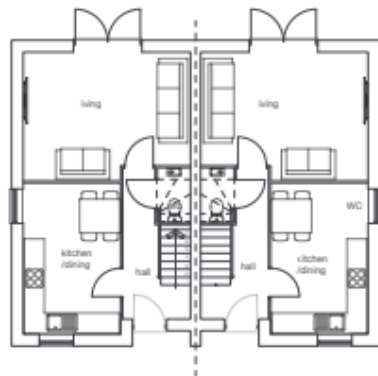
Side Elevation



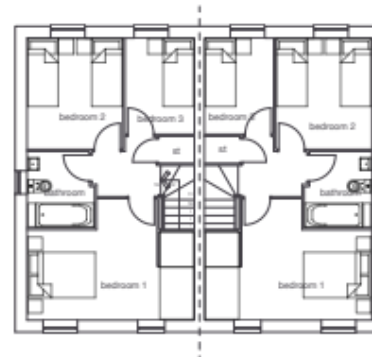
Rear Elevation



Side Elevation



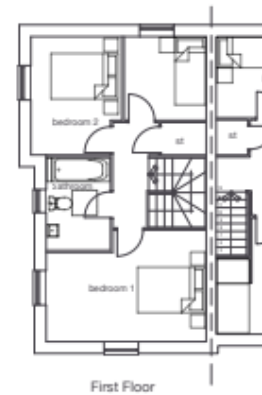
Proposed Ground Floor



Proposed First Floor

MATERIALS:
refer to drawing 006 for material palette
contrasting brick detailing
brick soldier sills and lintels
white upvc windows
imitation slate grey roof tiles

3b5p house (Ra_1.1)



Materials:
 refer to drawing 006 for material palette
 Projecting brick course feature
 Contrasting brick detailing
 Brick soldier lintels
 White uPVC windows
 Imitation slate grey roof tiles

2b4p house (Ra_2)



Front Elevation



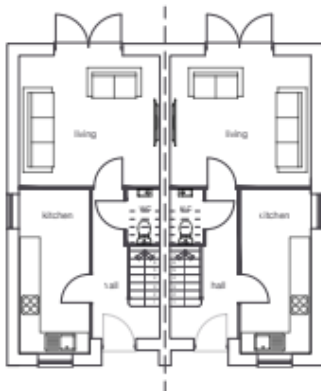
Side Elevation



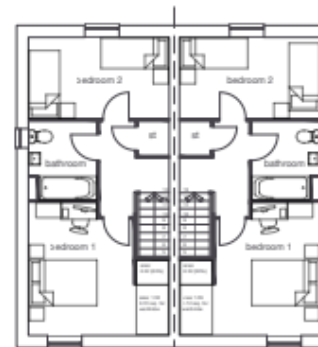
Rear Elevation



Side Elevation



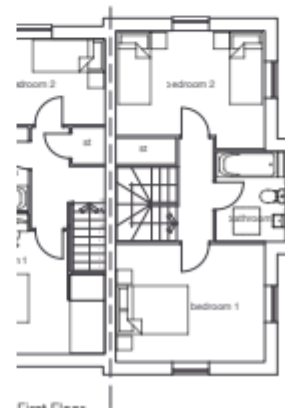
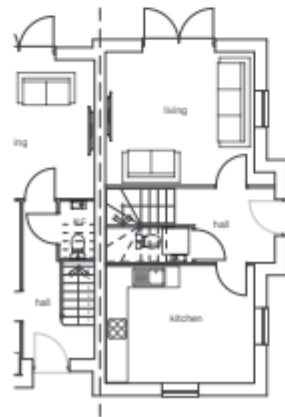
Proposed Ground Floor



Proposed First Floor

Materials:
refer to drawing 006 for material palette
Projecting brick course feature
Contrasting brick detailing
Brick soldier lintels
White uPVC windows
Imitation slate grey roof tiles

2b4p house (Ra_2.1)



Materials:
 refer to material drawing 006 for material palette
 Projecting brick course feature
 Contrasting brick detailing
 Brick soldier bricks
 White uPVC windows
 Imitation slate grey roof tiles

1b2p Maisonettes (Ra_3&3.1)

Materials:
refer to drawing 006 for material palette
Projecting brick course feature
Contrasting brick course detailing
Brick soldier bricks
White uPVC windows
Imitation slate grey roof tiles



Front Elevation



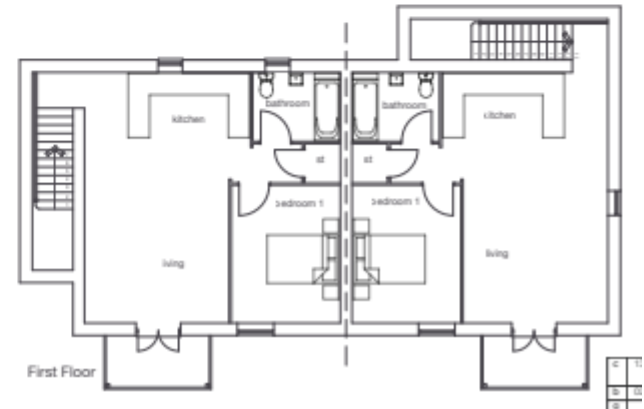
Side Elevation



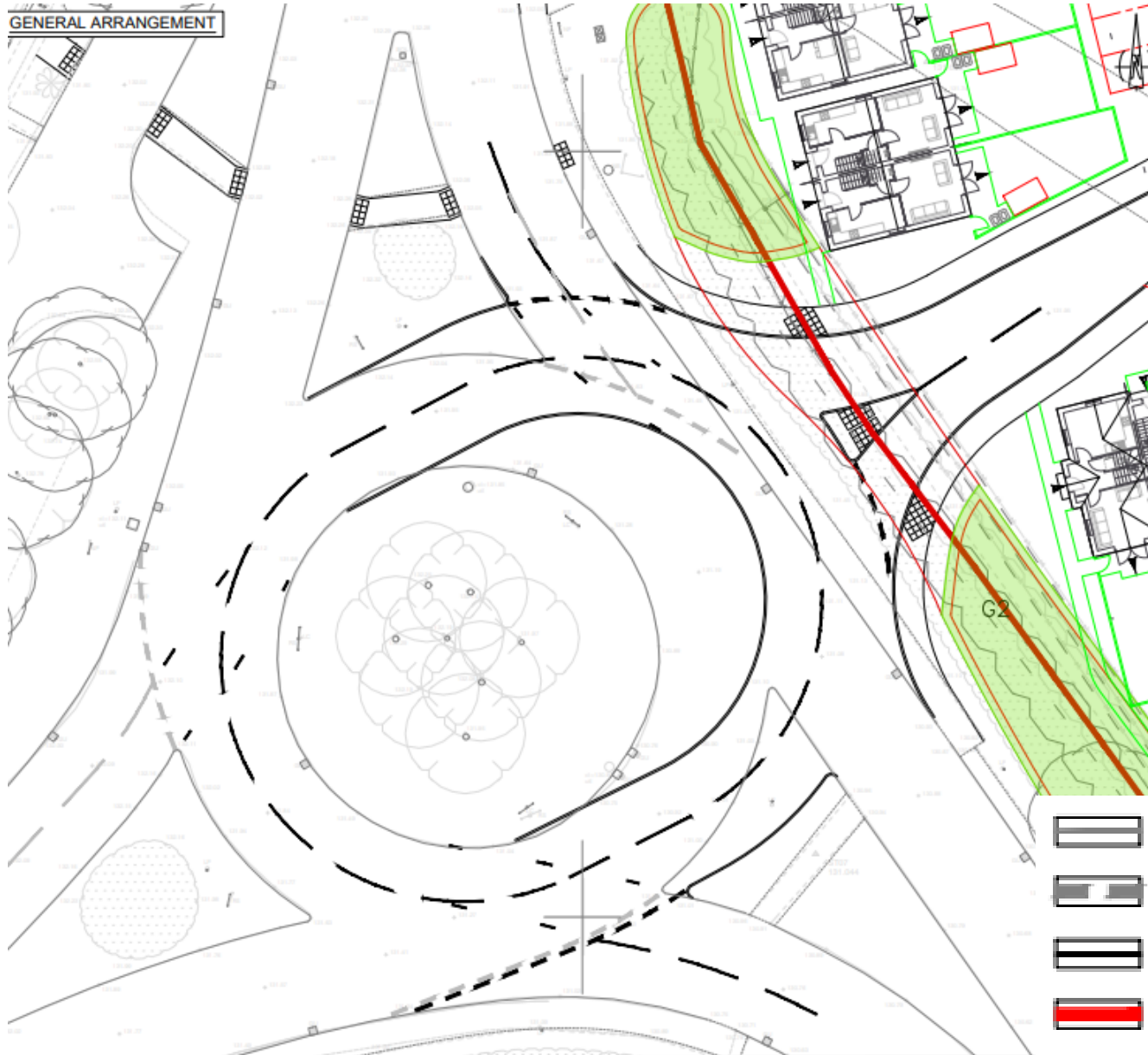
Side Elevation



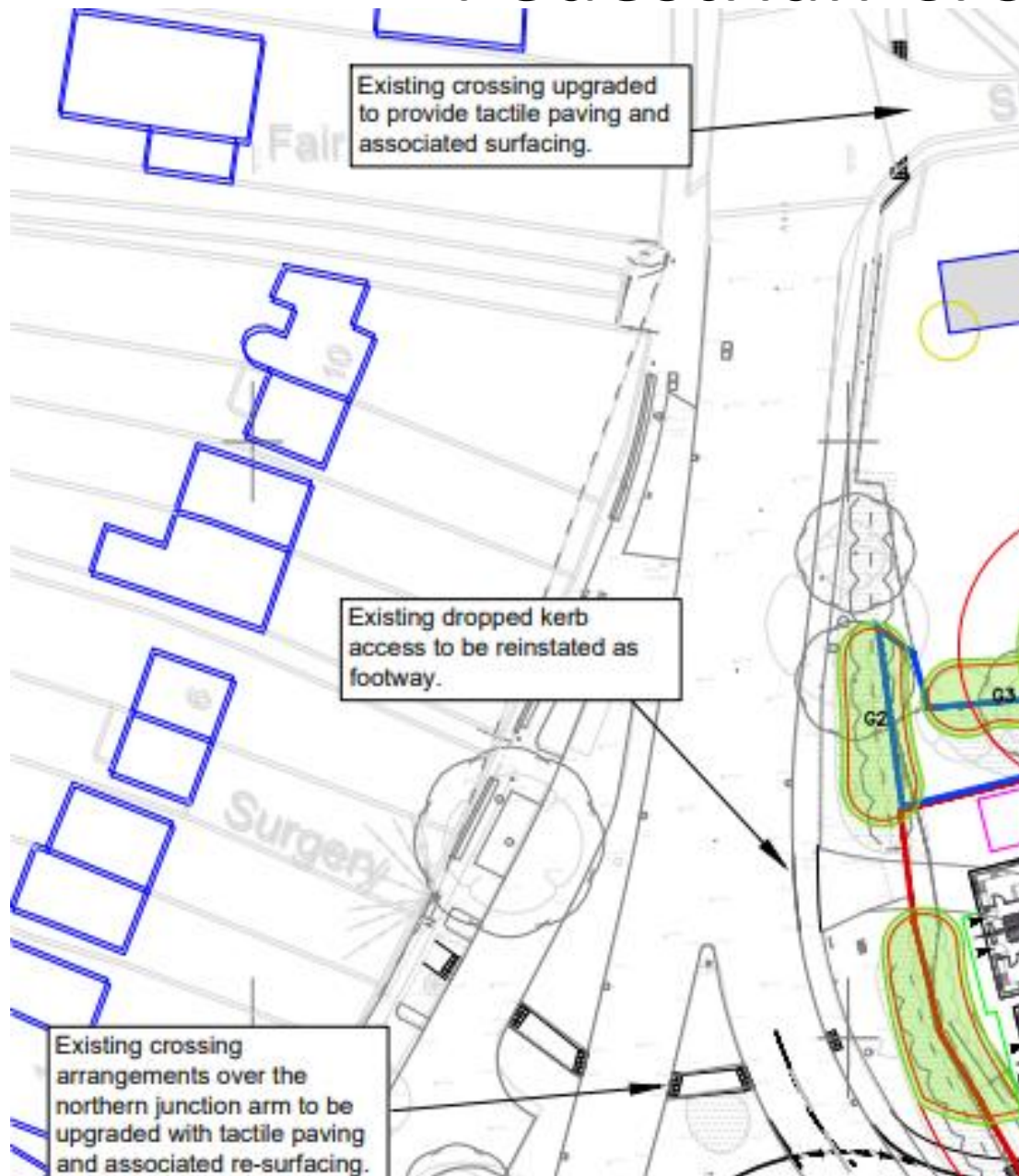
Rear Elevation



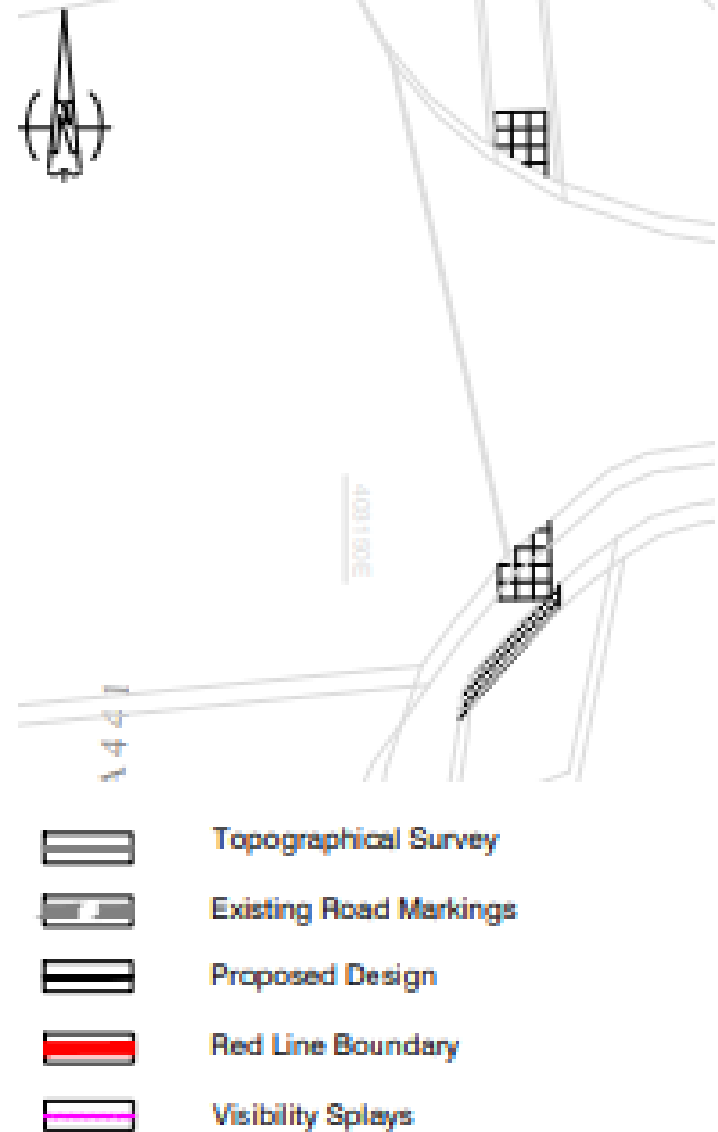
Proposed Access



Pedestrian Crossings



Proposed Smedley Crook Place Crossing



Sustainability

